

**Village of Pawling
Planning Board
Combined Application Form**

Fees Paid: _____

Application Date: _____

Escrow Paid: _____

PB Meeting Date: _____

REQUEST FOR: (Check all that apply)

Sketch Plan Conference _____

Lot Line Revision _____

Preliminary Subdivision Approval _____

Final Subdivision Approval _____

Site Plan Approval _____

Special Use Permit _____

Architectural Approval _____

Change of Use Permit ☒

Name of Project: One Memorial Avenue

Tax Map Number of all parcels: 134001-7056-05-034993

Street Address of all parcels: One Memorial Avenue, Pawling, NY 12564

Description of Proposed Activity: Change of Use from existing offices and short term rental, to hotel use.

Name of Applicant(s): One Memorial Avenue LLC

Address: 1 Memorial Avenue, Pawling, NY 12564

Telephone: 845-855-5900 Email: ded@dpllawyers.com

Name and Address of Record Owner(s): Same as owner

A) For All Applications:

1) Total acreage involved in application: 0.08 ac ±

2) Total contiguous acreage controlled by applicant/owner: 0.08 ac ±

3) Total number of existing structures: 1

4) Type of existing structures: 3 story office / short term rental

5) Total square footage of all new construction: 0 (internal renovations only)

6) Estimated value of new construction or addition: \$75,000

7) Type of construction or activity proposed: (Check all that apply)

New Construction:	Residential	<input type="checkbox"/>	Commercial	<input type="checkbox"/>	Institutional	<input type="checkbox"/>
Expansion/Renovation:	Residential	<input type="checkbox"/>	Commercial	<input checked="" type="checkbox"/>	Institutional	<input type="checkbox"/>
Home Occupation:	<input type="checkbox"/>	Change in use:	<input checked="" type="checkbox"/>	Other:	<input type="checkbox"/>	<input type="checkbox"/>

8) Zoning District: B-1

9) Does applicant intend to request any information waivers?

No ☒ Yes ☐. If yes, please list all waivers (attach separate pages if necessary):

10) Are there agricultural and/or forestry exemptions affecting the property?

No ☒ Yes ☐. If yes, please list in detail (attach separate pages if necessary):

11) Have any area or use variances affecting the property been granted?

No ☒ Yes ☐. If yes, please list in detail (attach separate pages if necessary):

12) Have any permits affecting the property been issued by any other governmental agency?
No ☒ Yes _____. If yes, please list in detail (attach separate pages if necessary):

13) Has any application(s) for any other permit(s) for any activity affecting the property been submitted to any other governmental agency?
No ☒ Yes _____. If yes, please list in detail (attach separate pages if necessary):

14) Attach a copy of the current deed and any easements affecting the property.

15) The site contains a federal jurisdictional wetland: Yes _____ No ☒. If yes, provide a copy of any applications and correspondence with the USACOE.

16) The site contains a state protected freshwater wetland: Yes _____ No ☒. If yes, provide a copy of any applications and correspondence with the NYSDEC.

17) The areal extent of proposed disturbance to the wetland is: _____ N/A

18) The areal extent of proposed disturbance to the wetland buffer area is: _____ N/A

B) For Subdivision and Lot Line Change Applications Only:

N/A

- 1) Total number of lots proposed: _____
- 2) What is the size of the smallest lot proposed? _____
- 3) What is the size of the largest lot proposed? _____
- 4) Number of private driveways proposed: _____
- 5) Number of common driveways proposed: _____
- 6) Maximum number of lots serviced by a common driveway: _____
- 7) Number of private roads proposed: _____
- 8) Number of lots serviced by a private road: _____
- 9) Preliminary Plat includes _____ acres and tentatively includes _____ future lots. The amount of area shown on this Preliminary Plat proposed to be dedicated for future public use, (exclusive of roads) is _____ (define measure: acres/square feet).
- 10) Does subdivider intend to submit a single subdivision plat for filing with County Clerk for all property in the Preliminary Plat? Yes _____ No _____. If no, state the number of sections to be filed _____.

John M. Watson, P.E.

Name and Address of Professional Engineer: _____

Insite Engineering, Surveying & Landscape Architecture, P.C.

Telephone: 845-225-9690 Email: jwatson@insite-eng.com

Name and Address of Licensed Land Surveyor: Jeffrey B. DeRosa, L.S.

Insite Engineering, Surveying & Landscape Architecture, P.C.

Telephone: 845-225-9690 Email: jderosa@insite-eng.com

Name and Address of Attorney: N/A

Telephone: _____ Email: _____

Name and Address of Biology/Wetland Consultant: N/A

Telephone: _____ Email: _____

By His/Her signature the Applicant avows that: 1) He/She has read this application and is familiar with its content; and 2) He/She has read, is familiar with, and understands the requirements of the Village of Pawling Code provision(s) affecting or regulating the project for which this application is made; and 3) He/She agrees to comply with the requirements of the Village of Pawling Code provision(s) affecting or regulating the project for which this application is made including any general or special conditions of any permits or approvals granted by any board, agency, or department of the Village of Pawling; and 4) He/She has read this statement and understands its meaning and its terms.

Applicant Signature:

One Memorial Avenue, LLC
By David E Daniels
David E Daniels, Member

Print Name:

David E Daniels

Date:

12/22/2023

PART "A"
OWNER AFFIDAVIT

State of New York
County of Dutchess

}
}
} ss:

Dave Daniels

being duly sworn, deposes and says:

- one Memorial Avenue, LLC 15
1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change (Site Plan) / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
 2. That I/we hereby authorize John M. Watson, PE, Insite Engineering, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
 3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
 4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
 5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Pawling, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
 6. That I/we understand that the Village of Pawling Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

Dave E. Daniels

Applicant/Owner

Applicant/Owner

Sworn to before me this 22nd day of
December, 2023.

Christine Baxter

Notary Public

CHRISTINE BAXTER
Notary Public, State of New York
No. 01BA6190411
Qualified in Dutchess County
Commission Expires 07/26/2024

State of New York
County of Dutchess

88:

being duly sworn, deposes and says:

1. That I/we are the Owner / Applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change Site Plan Special Permit approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at One Memorial Ave, Pawling, NY 12564 in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Pawling, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Pawling Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Applicant/Agent

CHRISTINE BAXTER
Notary Public, State of New York
No. 01BA6190411
Qualified in Dutchess County
Commission Expires 07/28/2024


CHRISTINE BAXTER
Notary Public, State of New York
No. 01066100411
Qualified in Dutchess County
Commission Expires 07/26/20

PART "C"
LICENSED PROFESSIONAL AFFIDAVIT
(To Be Completed By Each Licensed Professional)

State of _____ }
County of _____ } ss:

John M. Watson, P.E. being duly sworn, deposes and says:

- Engineer
1. That I/we are the _____ named in the foregoing Application for Subdivision / Lot Line Change / Site Plan / Special Permit approval(s) and that I/we have been duly authorized by the owner in fee and the applicant to make such application and that the foregoing statements contained therein are true to the best of my/our knowledge and belief.
 2. That I/we understand that the Village of Pawling Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.



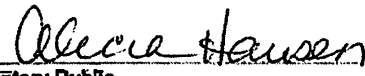
Licensed Professional

Licensed Professional

Licensed Professional

Licensed Professional

Sworn to before me this 22nd day of
December, 2023.



Notary Public

Alicia Hansen
Notary Public, State of New York
Reg. # 01HA6088470
Qualified In Dutchess County
Commission Expires January 21, 2027

PART "D"
DISCLOSURE OF BUSINESS INTEREST

State of New York

County of Dutchess

ss:

Dave Daniels

being duly sworn, deposes and says:

1. Pursuant to §803 of the General Municipal Law the following municipal officer(s) or employee(s), and any of their family members, outside employers, business associates, clients, or campaign contributors, have, or will later acquire, an ownership position, employment position, or other contractual interest in the proposed project: (Insert name, home address and municipal position held. Attach additional pages as necessary.)

David Daniels, the owner of One Memorial Ave LLC (which owns the property) is one of the attorneys for the Village of Pawling.

2. That the interest of said municipal officer(s) or employee(s) is: (Detail the nature and extent of the interest. Attach additional pages as necessary.)

See response to item 1 above

3. That he/she understands that the Village of Pawling Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury he/she declares that he/she has examined this affidavit and that it is true and correct.

Agent/Owner

Agent/Owner

One Memorial Avenue LLC
by David E Daniels
David E Daniels
Its Member

Sworn to before me this 22nd day of
December, 2023.

Christine Baxter
Notary Public

CHRISTINE BAXTER
Notary Public, State of New York
No. 01BA6190411
Qualified in Dutchess County
Commission Expires 07/28/2024

VILLAGE OF PAWLING

9 Memorial Avenue

Pawling, NY 12564

Tel: (845) 855-1128

Fax: (845) 855-9317

Email: pbsecv@villageofpawling.org

AFFIDAVIT

I hereby certify that to the best of my knowledge there are no outstanding fees owed to the Village of Pawling regarding the property or person identified below. Furthermore, I hereby certify that to the best of my knowledge, no outstanding violation of local laws or ordinances of the Village of Pawling exists with respect to the property or any structure or use existing thereon.

Property tax identification please verify the section, block and lot number(s) provided are correct. (See tax bill or contact Town Assessor's Office)

Section: _____ Block: _____ Lot: 134001-7056-036997

Address of property subject to application: One Memorial Ave, Pawling, NY12564

Type of Application: Site Plan, Change of Use

Identify Board or Department: **BUILDING/ZONING/PLANNING DEPARTMENT**


Dave Daniels

John M. Watson, P.E.

Owner



Agent

Notary

Notary

CHRISTINE BAXTER
Notary Public, State of New York
No. 01BA6190411
Qualified in Dutchess County
Commission Expires 07/28/2024

CONFIRMATIONS

Building Inspector

Date

Planning/Zoning

Date



*Village of Pawling
9 Memorial Avenue
Pawling, NY 12564*

*Tel: (845) 855-1122
Fax: (845) 855-9317
www.villageofpawling.org*

ESCROW POLICY ACKNOWLEDGEMENT

I have received and reviewed the Village of Pawling Escrow Policy and I have been given the opportunity to read Local Law No. 3 of 2022, a copy of which is attached, regarding responsibility for payment of consultant expenses incurred by the Village. We/I acknowledge that payment of the Village's consultant expenses and funding of escrow are the joint and several responsibilities of both the applicant and the Property Owner, if different. We/I understand the terms of the Local Law and of the Escrow Policy and we/I agree to comply:

Application Name: One Memorial Avenue

Applicant (name printed): Dave Daniels

Applicant Signature: *Dave E Daniels*

If Applicant is not the Real Property owner, then complete below:

Real Property Owner (print): _____

Real Property Owner Signature: _____